

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: April 6, 2006

ITEM NO. 4

CASE NUMBER/ PROJECT NAME	4-DR-2005#4 Dolce @ The Borgata		
LOCATION	6166 N. Scottsdale Road		
REQUEST	Request approval of site plan and elevations for an addition to Building A at the Borgata of Scottsdale.		
OWNER	Westcor 602-953-6296	ENGINEER	N/A
ARCHITECT/ DESIGNER	Sixty First Place Architects 480-947-6844	APPLICANT/ COORDINATOR	Bob Gutierrez Sixty First Place Architects 480-947-6844

BACKGROUND **Zoning.**
The property is zoned C-2, and contains an existing retail shopping center.

Context:
The site is located just south of Lincoln Drive, fronting the west side of Scottsdale Road. The area is generally characterized by resort hotels and commercial retail and office land uses.

Adjacent Uses:

- North: Existing restaurants and retail shopping center in a C-2 Zone.
- South: Existing restaurants and retail shopping center in a C-2 Zone.
- East: Existing retail shopping and office land uses in a C-2 Zone.
- West: Hotel/Resort land use in the Town of Paradise Valley.

**APPLICANT'S
PROPOSAL**

Applicant's Request.

The applicant is requesting site plan, floor plan, landscape plan, building elevations, and material/color approval for a proposed expansion of Building A of the Borgata shopping center. Building A is located in the southwest corner of the site, and is not directly visible from Scottsdale Road.

(Proposed Beauty Salon/Retail Establishment)

- The existing building (Building A) is approximately 8, 678 square feet. The applicant proposes to add approximately 1, 076 square feet to the 1st floor and 3, 435 square feet for a new second floor for a total addition of 4, 511 square feet. The proposed building would be a grand total of 13, 209 square feet.

- The project meets the remainder of the required development standards as a part of the overall development information below.

(Overall Shopping Center)

- Existing Use: Commercial shopping center
- Proposed Use: 4,571 Square-foot addition
- Total Parcel Size: 6.85 Acres
- Total Proposed Square Footage: 95, 298 Square Feet (Including the previously approved Taneko Tavern restaurant pad fronting Scottsdale Road)
- Parking Required: 464 Spaces Required (Including proposed new addition)
- Parking Provided: 482 Spaces Provided

DISCUSSION**Conformance to the approved site plan:**

The Development Review Board reviewed and approved a new site plan for the Borgata development on June 9, 2005. The “new” site plan included the demolition of the Mancuso’s restaurant structure, the filling in of the water feature along Scottsdale Road, the extension of the parking lot toward Scottsdale Road, and finally the creation of two (2) new restaurant pads with an interior courtyard and water feature. The remainder of the Borgota site plan remained unchanged. The applicant is substantially staying within the character and design of the previously approved site plan.

The proposed beauty/retail use will occupy what is generally referred to as Building “A” on the Borgota site plan. It is located in the southwest corner of the site, and is not directly visible from Scottsdale Road. The main entrance to this portion of the site is from Rose Lane, and the building pad is adjacent to an entrance point to the Borgota center. The applicant is proposing to add square footage to the first floor of the structure and modify the footprint to remove building articulation to make the structure more flush with the roadway. Subsequently the applicant is proposing to landscape the area with several low shrubs and a few shade trees, where possible. The shrubs are proposed to be a mix of 5-gallon Petite Oleanders and 5-gallon Valentine bushes. The trees are proposed to be a mix of Swan Hill Olive (2) and Italian cypresses (7). There will also be additional landscape in the form of ground cover, primarily 1-gallon New Gold Lantana and Bush Morning Glory.

Building materials & colors:

The applicant has carefully considered the comments of the Development Review Board at two (2) previous study sessions and formal hearings regarding recent DRB approvals regarding the Borgota shopping center. The application reflects similar (if not identical) building materials and colors to those currently located at the Borgota. These include the following:

- Roof: Mission type, barrel clay tile roof.

- EIFS: Plaster stucco to match texture of existing material found in the Borgata. The color will be both an earthtone and beige (Frazee 8264D Tuscan Clay). It will be located on the turret portion of the structure adjacent to the existing tower element, and along the main linear distance of the building fronting the parking lot.
- CMU Stone: 8" x 8" x 8" CMU stone to match the existing stone at the center will be provided on two columns to help integrate the existing tower element with the new architectural projections for the proposed 2-story structure.
- Trim: There will be a canterra stone trim framing the windows (recessed per City guidelines) and an aluminum inset in the window bay.

OTHER BOARDS AND
COMMISSIONS

Not applicable. The Development Review Board decision in this matter is final, unless a timely appeal is filed with the City Clerk of the City of Scottsdale. The Development Review Board has previously approved 3 cases on this property; 4-DR-2005 (Master Site Plan), 4-DR-2005 #2 (wall/sign on Scottsdale Road), and 4-DR-2005 #3 (Taneko Tavern – Restaurant pad fronting Scottsdale Road)

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

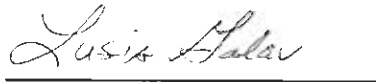
STAFF CONTACT(S)

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E-mail: mcummins@ScottsdaleAZ.gov

APPROVED BY



Mac Cummins, AICP
Report Author



Lusia Galav, AICP
Director, Current Planning
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan (2 pgs)
5. Color Elevations (2 pgs)
6. Color Perspectives (2 pgs)
7. Floor Plans
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Project Narrative

This document will be uploaded to a Case Fact Sheet on the City's web site.

Date: 12/28/05

Coordinator: Mac Cummins

Project Name: Dolce @ The Borgata

Project No.: _____ - PA - _____

Case No.: 4 - DR - 2005

#4

Project Location: 6166 N. Scottsdale Road (The Borgata of Scottsdale)

Property Details:

☐ Single-Family Residential ☐ Multi-Family Residential ☒ Commercial ☐ Industrial

Current Zoning: C-2 Proposed Zoning: C-2

Number of Buildings: 8 Parcel Size: 298,332 s.f. (net)

Gross Floor Area/Total Units: 95,814 s.f. Floor Area Ratio/Density: 31%

Parking Required: 464 (per shared park schedule) Parking Provided: 479

Setbacks: N - varies S - varies E - varies W - varies

Description of Request:

The applicant is proposing a two-story addition to the shell of an existing building at the Borgata of Scottsdale. The first level will be expanded by 1,076 s.f. and a 3, 435 s.f. second level will be added for a future beauty salon & spa, Dolce. The second level parapet will extend up to 30'-0". The addition is set back from Scottsdale Road along Rose Lane. The face of the existing building and the existing outdoor patio will be demolished to allow for the addition. The landscape around the eastern face of the building will be re-designed for a more inviting appearance. The addition will not encroach into the existing parking lots or pedestrian walkways. The new building design is to follow the existing mall aesthetic by using similar colors and materials as the site currently displays.

4-DR-2005#4

REV: 02/15/2006

Planning and Development Services Department

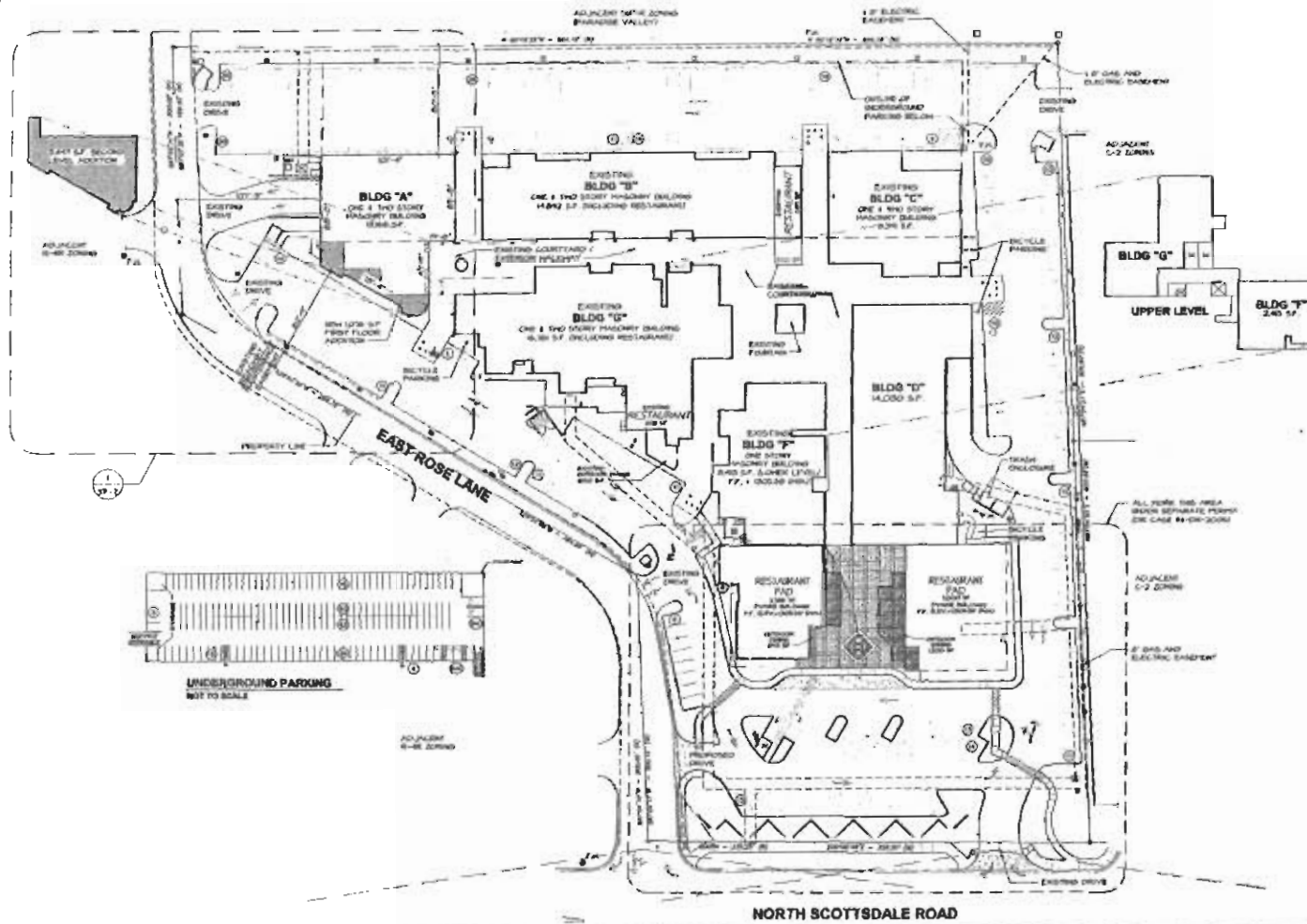
7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



Dolce @ The Borgata

4-DR-2005 #4

ATTACHMENT #2A



1 BORGATA SITE PLAN

SCALE: 1" = 40'

SITE DATA

PARCEL NUMBER:	179-88-005
ADJACENT NORTH:	COMMERCIAL HIGH (179-88-010)
GRACE PROPERTY AREA:	318,845 S.F.
ADJACENT WEST:	7,134 ADDRESS
NET PROPERTY AREA:	286,332 S.F.
	(8.83 ACRES)
ZONING:	0-2
ZONING CASE:	20-2-00
EXISTING BUILDING "A" AREA:	8,478 S.F.
NEW LOWER LEVEL ADDITION AREA:	1,208 S.F.
NEW UPPER LEVEL ADDITION AREA:	3,455 S.F.
NEW TOTAL AREA:	13,139 S.F.
PROPOSED BUILDING "A" HEIGHT:	(NOT INCLUDING UNOCCUPIED TOWER)
PROPOSED NUMBER OF STORIES:	2

BUILDING AREAS

BUILDING "A"	8,540 S.F.
EXISTING RETAIL:	4,384 S.F.
NEW SPA ADDITION:	13,750 S.F.
BUILDING "B"	1,737 S.F.
EXISTING RETAIL:	8,391 S.F.
BUILDING "C"	14,932 S.F.
EXISTING RETAIL:	11,328 S.F.
BUILDING "D"	14,880 S.F.
EXISTING RETAIL:	6,197 S.F.
EXISTING OFFICE:	8,118 S.F.
EXISTING RESTAURANT:	13,227 S.F.
FUTURE RESTAURANT:	73,381 S.F.
TOTAL RETAIL & SPA:	15,477 S.F.
TOTAL RESTAURANT:	3,328 S.F.
TOTAL OFFICE:	4,887 S.F.

PARKING CALCULATION

RETAIL & SPA:	300 SPACES
1 SPACE PER 200 S.F.	
73,381 S.F. / 200 =	
RESTAURANT:	100 SPACES
1 SPACE PER 200 S.F. (MINUS 100 S.F.)	
13,227 S.F. - 100 S.F. / 200 = 16 SPACES	
OFFICE:	15 SPACES
1 SPACE PER 300 S.F.	
4,887 S.F. / 300 =	
TOTAL PARKING REQUIRED:	315 SPACES*
REQUIRED PARKING PROVIDED:	464 SPACES*
TOTAL PARKING PROVIDED:	479 SPACES
* - SEE ATTACHED SHARED PARKING CALCULATION SHEET FOR S.F.	
ADDITIONAL PARKING REQUIRED:	7 SPACES
STANDARD ACCESSIBLE:	2 SPACES
EXISTING OFFICE:	
ADDITIONAL PARKING PROVIDED:	12 SPACES
STANDARD ACCESSIBLE:	2 SPACES
EXISTING OFFICE:	
BICYCLE PARKING REQUIRED:	40 SPACES
BICYCLE PARKING PROVIDED:	46 SPACES



VICINITY MAP

NOT TO SCALE

DR CASE: 4-DR-2005#4

DATE	REVISIONS
12/23/05	1
12/23/05	2
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DOLCE @ THE BORGATA
6165 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85253

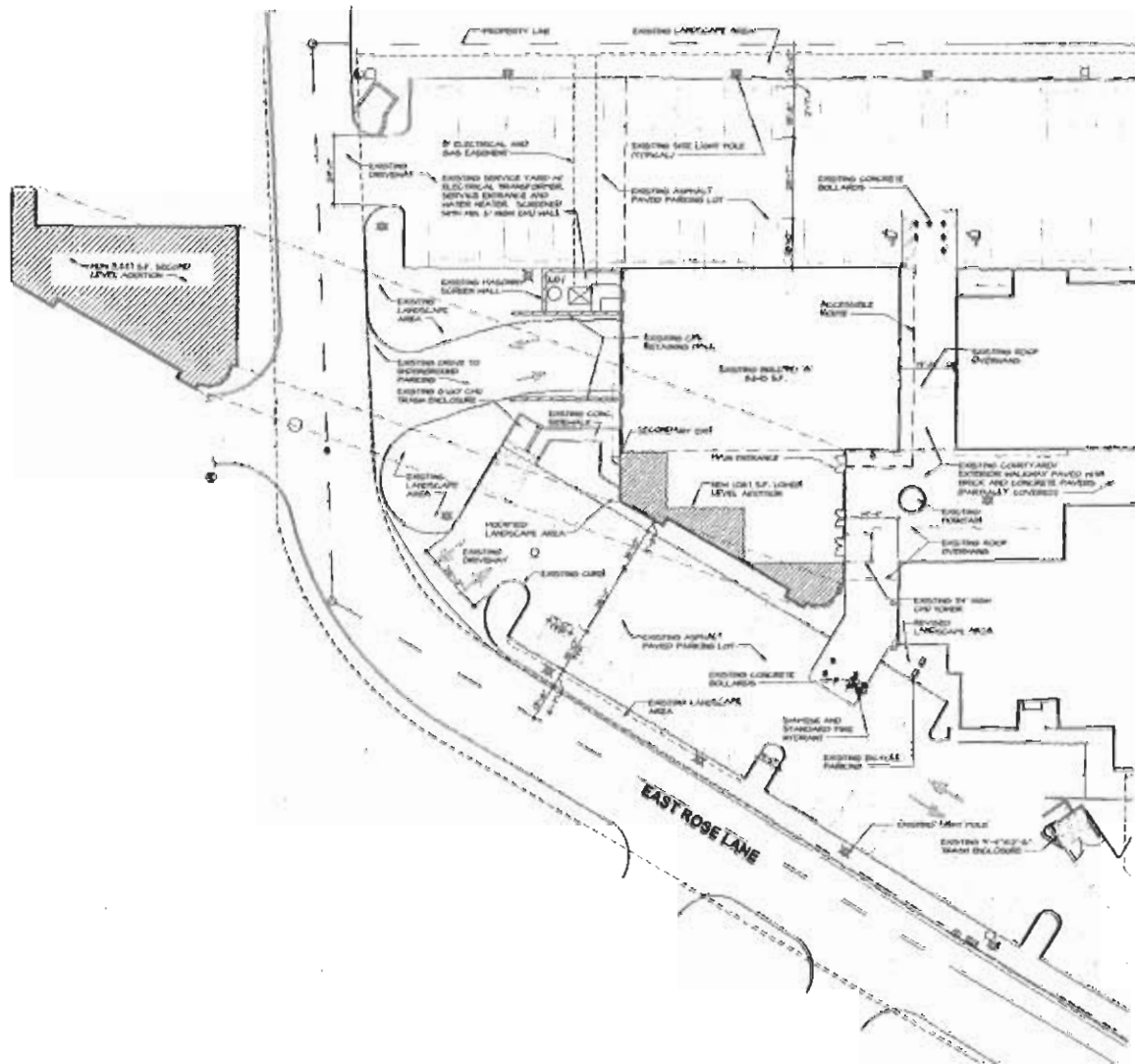
SIXTY FIRST PLACE ARCHITECTS, LTD.
710 EAST MEAN STREET, SUITE 100
SCOTTSDALE, ARIZONA 85253

ATTACHMENT #4

BORGATA SITE PLAN

DATE: 12/23/05
SHEET NO: SP 1

4-DR-2005#4
REV: 02/15/2006



1

BUILDING "A" **ENLARGED SITE PLAN**

SCALE: 1" = 20'-0"

DR CASE: 4-DR-2005 #4

DATE: REVISIONS

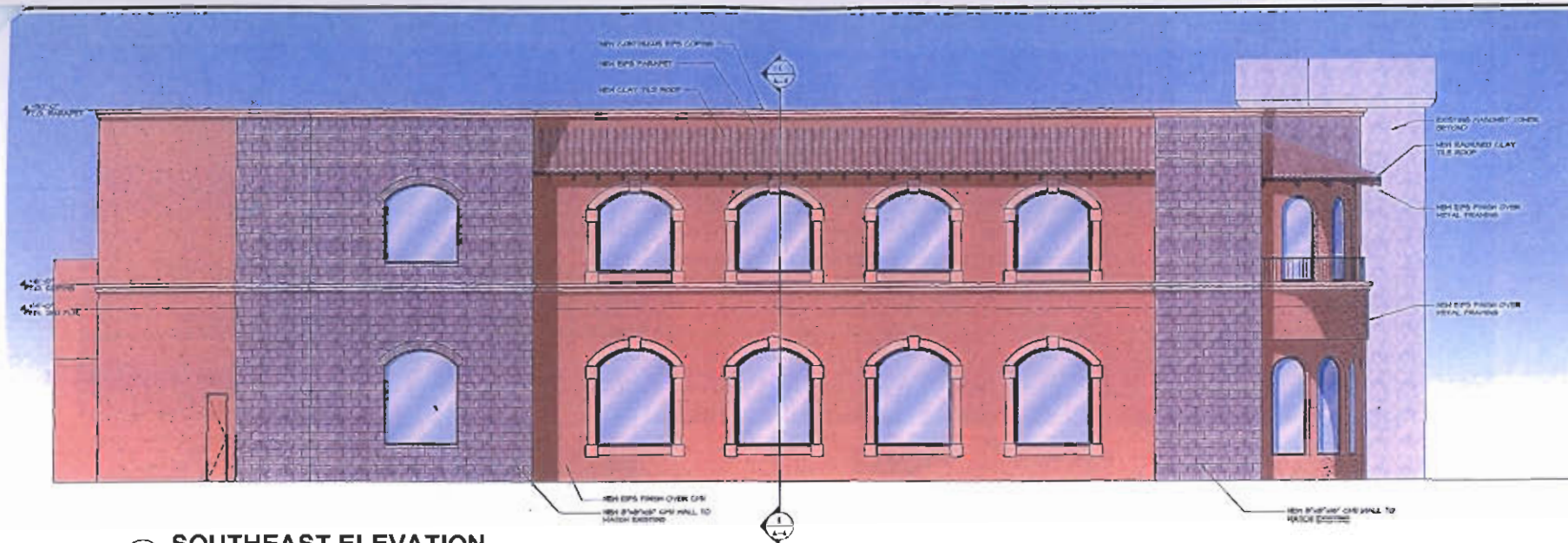
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9	05/01/05	REVISED
10	05/01/05	REVISED

DATE: 12/23/05
SHEET NO: SP-2

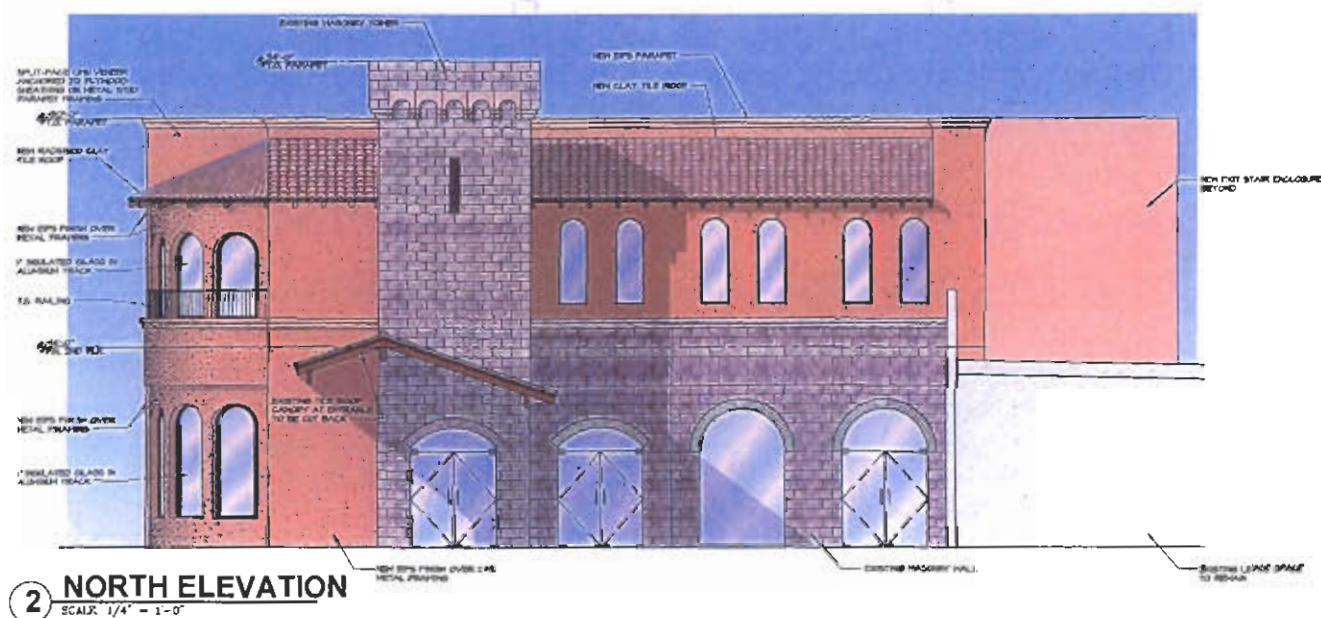
DOLCE @ THE BORGATA
6066 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85253
BUILDING "A" ENLARGED SITE PLAN

SIXTY FIRST PLACE ARCHITECTS, LTD.
7700 EAST WILLOW ROAD, SUITE 1
SCOTTSDALE, ARIZONA 85253
PHOENIX: (602) 947-9119

4-DR-2005#4
REV: 02/15/2006



1 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SIXTY FIRST PLACE ARCHITECTS, LTD.
732 EAST ADAMS SCHOOL, SUITE 1

DOLCE @ THE BORGATA
6066 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85258

EXTERIOR ELEVATIONS

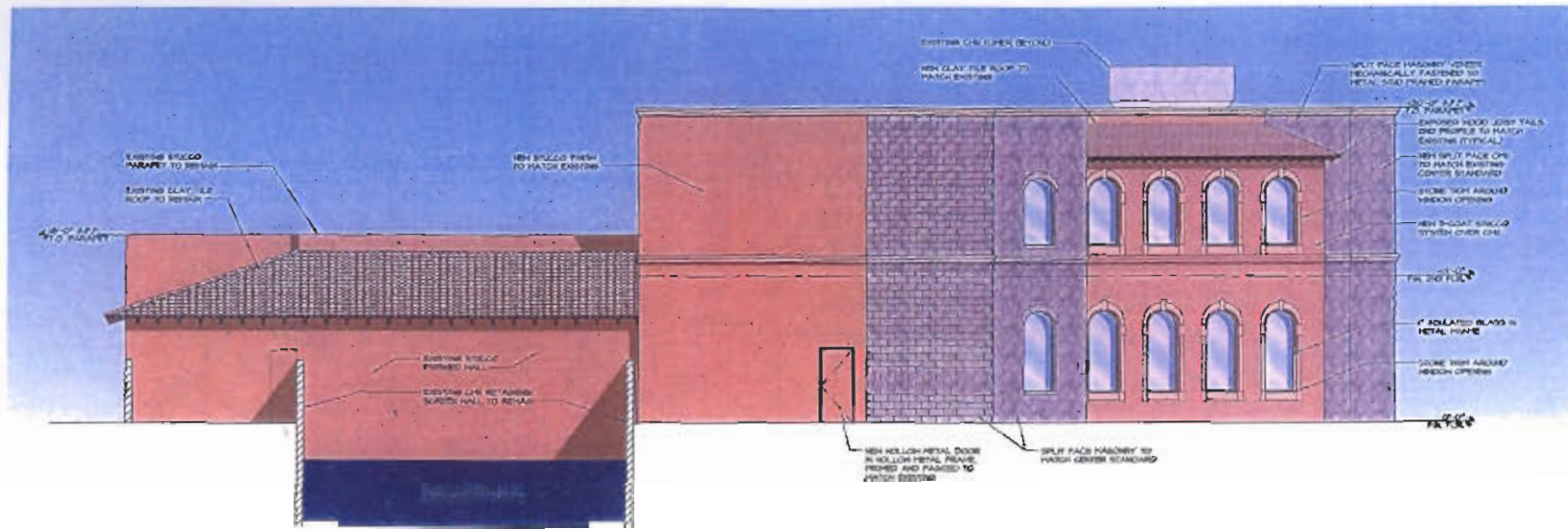
ATTACHMENT #5

DR CASE: 4-DR-2005 #4

REVISIONS

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4-DR-2005#4
REV: 02/15/2006



① **SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"

DR CASE: 4-DR-2005 #4

REVISIONS

SIXTY FIRST PLACE ARCHITECTS

FOR ARCHITECT

DATE

3/10/06

SHEET NO

DR-3

DOLCE @ THE BORGATA

6166 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85253

EXTERIOR ELEVATIONS

SIXTY FIRST PLACE ARCHITECTS, LTD.

PHOTOGRAPHY: MICHAEL J. GUTIELLO
SCOTTSDALE, ARIZONA 85253
PHONE: (480) 944-1444 FAX: (480) 944-1444

4-DR-2005#4
REV: 02/15/2006



DOLCE @ The Borgata

6166 N. Scottsdale Road
Scottsdale, Arizona

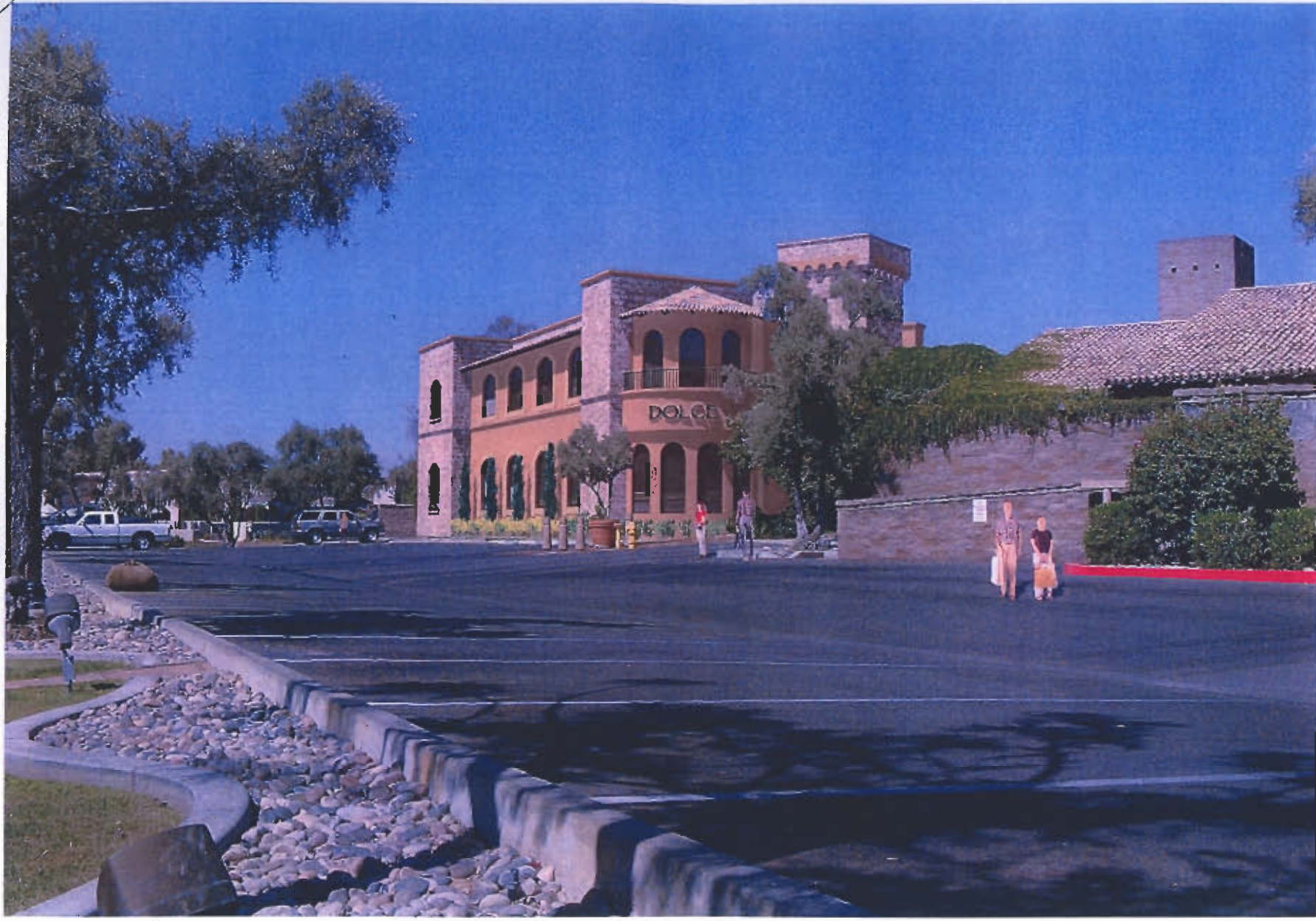
Perspective Rendering

4-DR-2005#4

REV: 02/15/2006



ATTACHMENT #6



DOLCE @ The Borgata
6166 N. Scottsdale Road
Scottsdale, Arizona

Perspective Rendering

4-DR-2005#4

REV: 02/15/2006



Dolce @ The Borgata
6166 N. Scottsdale Rd.
Scottsdale, AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
AS Shown

- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☒ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☐ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☒ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: Lt and Ord I SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Dolce @ The Borgata Case 4-DR-2005#4

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Sixty First Place Architects, Ltd., dated 2/15/06 by City staff.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Sixty First Place Architects, Ltd., dated 2/15/06 by City staff.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Sixty First Place Architect, Ltd., dated 2/15/06 by City staff.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All service entrance section(s) shall be fully screened by a block wall and painted to match the building façade.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).

SITE DESIGN:

Ordinance

- A. *Pursuant to 4-DR-2005 (Approved on June 9, 2005), with the final plans submittal the Developer shall demonstrate compliance with parking requirements of the Zoning Ordinance by submitting an update to*

ATTACHMENT B

the overall parking plan, including an update of the shared parking table, for the entire Borgata site. This update should be identical to the update reviewed as a portion of this DRB review.

OPEN SPACE:**Ordinance**

- B. *Pursuant to 4-DR-2005 (Approved on June 9, 2005), with the final plans submittal the Developer shall demonstrate compliance with open space requirements of the Zoning Ordinance by submitting an update of required and provided open space for the entire Borgata site. This update should be identical to the update reviewed as a portion of this DRB review.*

LANDSCAPE DESIGN:**DRB Stipulations**

10. *The proposed landscape modifications shall be provided consistent with the approved Development Review Board case 4-DR-2005.*
11. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

12. Exterior lighting shall comply with the Development Review Board approval of the case 4-DR-2005.

ADDITIONAL PLANNING ITEMS:**DRB Stipulations**

13. No exterior vending or display shall be allowed.
14. Flagpoles, if provided, shall be one piece, conical, and tapered.
15. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:**Ordinance**

- C. *At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 29-ZN-1980, 26-ZN-1981, 4-DR-2005, 4-DR-2005#2, 4-DR-2005#3, and 57-LD-2005.*